



Permit No. \_\_\_\_\_

Date: \_\_\_\_\_

Fee: \_\_\_\_\_

Receipt No. \_\_\_\_\_

### GRADING PERMIT APPLICATION

<b>Location/Address of Property:</b> _____	
<b>Owner of Property:</b> _____	<b>Contractor:</b> _____
<b>Address:</b> _____	<b>Address:</b> _____
<b>City, State, Zip:</b> _____	<b>City, State, Zip:</b> _____
<b>Telephone:</b> _____	<b>Telephone:</b> _____
<b>Amount of soil moved</b> _____	<b>Fax Number:</b> _____
<b>Date grading will commence</b> _____	<b>Date grading will be completed</b> _____

**The following information shall be submitted with this application for a Grading Permit:**

1. The legal description of the property.
2. The fee required.
3. Evidence of ownership or an interest in the property.
4. Existing and proposed final grades utilizing two foot contour intervals.
5. A survey showing the location and elevation of all roads, utilities and structures which may be impacted by the proposal.
6. A tree survey showing all trees having a caliper of six inches or greater and a tree preservation plan.
7. A landscaping and site restoration plan.
8. A development concept plan indicating how the recontoured parcel may be developed in a manner consistent with the ordinance and the Comprehensive Plan.
9. A drainage plan which includes any engineering work for storm water retention which may be necessary.
10. An erosion control plan indicating the type and location of erosion control measures to be used.
11. A traffic analysis showing how materials will be removed from or delivered to the site.
12. Two copies of all available soil borings together with boring location maps and any other soils information pertinent to improvements.
13. Such other information as may be required by the City.

**NOTE: All grading plans for over 1,000 cubic yards shall be prepared by a qualified professional.**

Permit Fee: \_\_\_\_\_ Plan Check Fee: \_\_\_\_\_ Total Fee: \_\_\_\_\_ Bond Required: Yes  No

The following conditions shall be incorporated into the grading plans for the property:

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Reviewed by: \_\_\_\_\_, Civil Engineer Date: \_\_\_\_\_

**3309.8 Regular Grading Requirements.** Each application for a grading permit shall be accompanied by a plan in sufficient clarity to indicate the nature and extent of the work. The plans shall give the location of the work, the name of the owner and the name of the person who prepared the plan. The plan shall include the following information:

1. General vicinity of the proposed site.
2. Limiting dimensions and depth of cut and fill.
3. Location of any buildings or structures where work is to be performed, and the location of any buildings or structures within 15 feet (4572 mm) of the proposed grading.

**3309.9 Issuance.** The provisions of Section 106.4 are applicable to grading permits. The building official may require that grading operations and project designs be modified if delays occur which incur weather-generated problems not considered at the time the permit was issued.

The building official may require professional inspection and testing by the soils engineer. When the building official has cause to believe that geologic factors may be involved, the grading will be required to conform to engineered grading.

**SECTION 3310 — GRADING FEES**

**3310.1 General.** Fees shall be assessed in accordance with the provisions of this section or shall be as set forth in the fee schedule adopted by the jurisdiction.

**3310.2 Plan Review Fees.** When a plan or other data are required to be submitted, a plan review fee shall be paid at the time of submitting plans and specifications for review. Said plan review fee shall be as set forth in Table A-33-A. Separate plan review fees shall apply to retaining walls or major drainage structures as required elsewhere in this code. For excavation and fill on the same site, the fee shall be based on the volume of excavation or fill, whichever is greater.

**3310.3 Grading Permit Fees.** A fee for each grading permit shall be paid to the building official as set forth in Table A-33-B. Separate permits and fees shall apply to retaining walls or major drainage structures as required elsewhere in this code. There shall be no separate charge for standard terrace drains and similar facilities.

**TABLE A-33-A—GRADING PLAN REVIEW FEES**

50 cubic yards (38.2 m <sup>3</sup> ) or less	No fee
51 to 100 cubic yards (40 m <sup>3</sup> to 76.5 m <sup>3</sup> )	\$23.50
101 to 1,000 cubic yards (77.2 m <sup>3</sup> to 764.6 m <sup>3</sup> )	37.00
1,001 to 10,000 cubic yards (765.3 m <sup>3</sup> to 7645.5 m <sup>3</sup> )	49.25
10,001 to 100,000 cubic yards (7646.3 m <sup>3</sup> to 76 455 m <sup>3</sup> )—\$49.25 for the first 10,000 cubic yards (7645.5 m <sup>3</sup> ), plus \$24.50 for each additional 10,000 yards (7645.5 m <sup>3</sup> ) or fraction thereof.	
100,001 to 200,000 cubic yards (76 456 m <sup>3</sup> to 152 911 m <sup>3</sup> )—\$269.75 for the first 100,000 cubic yards (76 455 m <sup>3</sup> ), plus \$13.25 for each additional 10,000 cubic yards (7645.5 m <sup>3</sup> ) or fraction thereof.	
200,001 cubic yards (152 912 m <sup>3</sup> ) or more—\$402.25 for the first 200,000 cubic yards (152 911 m <sup>3</sup> ), plus \$7.25 for each additional 10,000 cubic yards (7645.5 m <sup>3</sup> ) or fraction thereof.	
<b>Other Fees:</b>	
Additional plan review required by changes, additions or revisions to approved plans (minimum charge—one-half hour)	\$50.50 per hour*

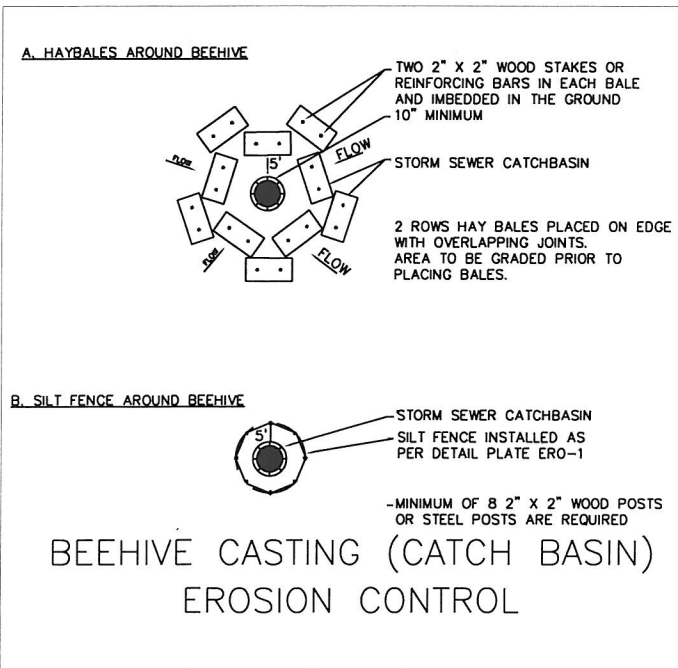
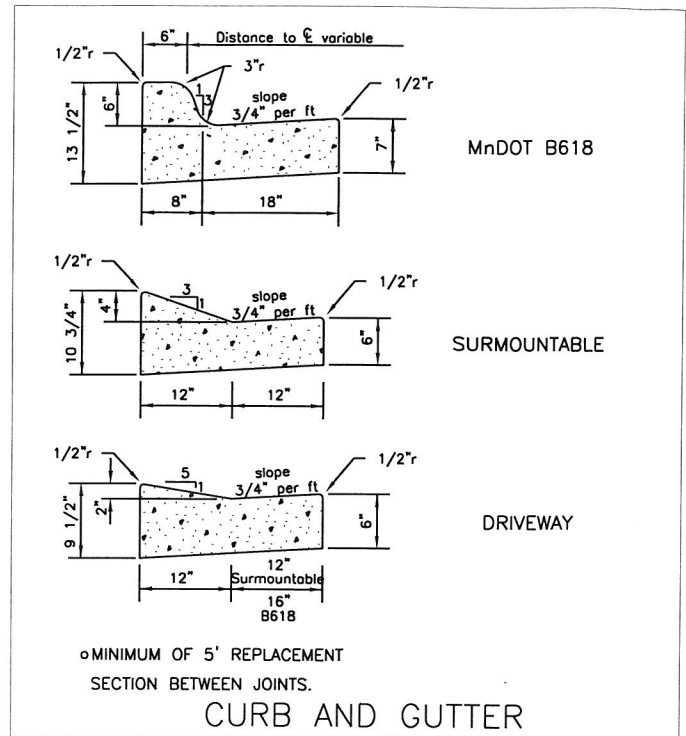
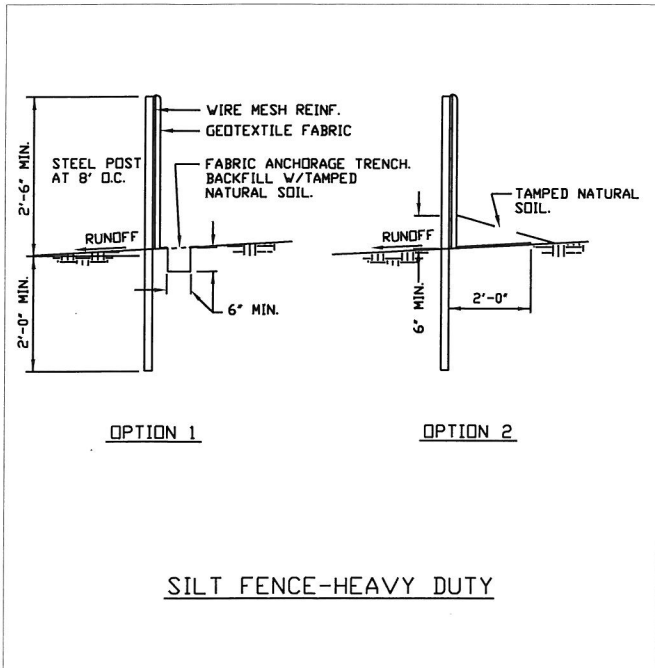
\*Or the total hourly cost to the jurisdiction, whichever is the greatest. This cost shall include supervision, overhead, equipment, hourly wages and fringe benefits of the employees involved.

**TABLE A-33-B—GRADING PERMIT FEES<sup>1</sup>**

50 cubic yards (38.2 m <sup>3</sup> ) or less	\$23.50
51 to 100 cubic yards (40 m <sup>3</sup> to 76.5 m <sup>3</sup> )	37.00
101 to 1,000 cubic yards (77.2 m <sup>3</sup> to 764.6 m <sup>3</sup> )—\$37.00 for the first 100 cubic yards (76.5 m <sup>3</sup> ) plus \$17.50 for each additional 100 cubic yards (76.5 m <sup>3</sup> ) or fraction thereof.	
1,001 to 10,000 cubic yards (765.3 m <sup>3</sup> to 7645.5 m <sup>3</sup> )—\$194.50 for the first 1,000 cubic yards (764.6 m <sup>3</sup> ), plus \$14.50 for each additional 1,000 cubic yards (764.6 m <sup>3</sup> ) or fraction thereof.	
10,001 to 100,000 cubic yards (7646.3 m <sup>3</sup> to 76 455 m <sup>3</sup> )—\$325.00 for the first 10,000 cubic yards (7645.5 m <sup>3</sup> ), plus \$66.00 for each additional 10,000 cubic yards (7645.5 m <sup>3</sup> ) or fraction thereof.	
100,001 cubic yards (76 456 m <sup>3</sup> ) or more—\$919.00 for the first 100,000 cubic yards (76 455 m <sup>3</sup> ), plus \$36.50 for each additional 10,000 cubic yards (7645.5 m <sup>3</sup> ) or fraction thereof.	
<b>Other Inspections and Fees:</b>	
1. Inspections outside of normal business hours (minimum charge—two hours)	\$50.50 per hour <sup>2</sup>
2. Reinspection fees assessed under provisions of Section 108.8	\$50.50 per hour <sup>2</sup>
3. Inspections for which no fee is specifically indicated (minimum charge—one-half hour)	\$50.50 per hour <sup>2</sup>

<sup>1</sup>The fee for a grading permit authorizing additional work to that under a valid permit shall be the difference between the fee paid for the original permit and the fee shown for the entire project.

<sup>2</sup>Or the total hourly cost to the jurisdiction, whichever is the greatest. This cost shall include supervision, overhead, equipment, hourly wages and fringe benefits of the employees involved.



Corrective measures, suggestions and enforcement on reverse side.

- Install **ALL** required erosion control or BMP prior to any soil disturbance.
- Maintain **ALL** erosion control measures until sufficient vegetation is established.
- Protect all curb and sidewalk. *Contractor responsible for all damage.*
- Silt fence must be installed in accordance to city detail.
- Contractor responsible for all erosion control prevention and correction until site is stabilized in a permanent manner.
- Protect all survey lot corners and easements.
- All concrete cleanout must be done on private property owned by the builder and away from city structures.
- All attempts must be made to maintain sidewalk access at all times. The sidewalk should not be blocked, covered or impassable at any time. Except for a specific construction entrances. *E.G. Avoid storage of material on sidewalk that may make it impassable. Do not place dumpster on sidewalk unless there is no other alternative. Remove any silt or soil buildup that hides or otherwise blocks the sidewalk.*
- **Construction Entrance** - 6" layer of clean fill or course aggregate over a city structures such as sidewalk or curb to protect it from construction damage.



## SITE PROTECTION & EROSION CONTROL

## CORRECTIVE MEASURES

- Transverse cracks may be sawed and sealed as approved by the engineer.
- Sawed & sealed cuts should be 1/2 thickness filled with approved sealant.
- 5' minimum separation on curb joints for curb replacement.
- Full panel replacement on sidewalk replacement.
- 5" minimum sidewalk thickness.
- 6" minimum sidewalk thickness in all driveways.
- MnDot 3Y32 Type A concrete required for all replacement.
- High erosion areas may be blanketed as required by engineer.
- Additional silt fence must be installed as soon as possible as required by engineer.

## SUGGESTIONS

- Silt fence entire lot and limit access to one entrance.
- Construct construction entrance over curb and sidewalk with a minimum of 6" compacted clean fill or coarse aggregate to protect curb and sidewalk.
- Display direct contact name and number for corrections and comments located on site. (By building permit)
- Use extreme caution around wetlands and buffer areas and excessive erosion and access control into wetland areas.

## ENFORCEMENT

- No footing inspection will be made without required silt fence installation.
- Maintenance and inspection must be made after each rain event.
- No further inspections will be scheduled after verbal notification by the city of out of compliance erosion control measure until corrective actions are taken.
- A 'Stop Work Order' may be issued for any site that is out of compliance until the erosion / grading problems are resolved.

## CONTACTS

Engineering  
Department  
(651) 430-8830

Building Inspections  
(651) 430-8825